

Clarke Philips

Estate Agents & Property Management



£1,250 Per Month

2 SUSSEX LODGE COTTAGES, FORDHAM ROAD | NEWMARKET | CB8 7AF

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GARDENING INCLUDED!*ALLOCATED PARKING FOR 2 CARS*

A rare opportunity to rent this extensive 3 Bedroom Cottage set in an idyllic setting, in the centre of Newmarket.

Check out this characterful property, that offers an extensive amount of space including kitchen area, 3 bedrooms, lounge, dining room, study & shower room and separate WC. Set back, down a small quiet lane away from the main road, this home offers easy access for walking to the town centre, local amenities and local heathland.

The property benefits from 2 allocated parking spaces and a beautiful open garden area.

EPC band: D

Porch

Entrance Hall

Living Room 13'5" 10'5" (4.11m 3.20m)

Dining Room 13'6" x 9'11" (4.12m x 3.033)

Kitchen 12'0" x 7'11" (3.66m x 2.42m)

Downstairs Shower Room 8'1" x 7'7" (2.48m x 2.32m)

First Floor Landing

Bedroom 1 13'6" x 10'5" (4.13m x 3.19m)

Bedroom 2 13'6" x 9'11" (4.12m x 3.03m)

Bedroom 3 10'1" x 8'0" (3.09m x 2.44m)

Upstairs WC

Outside

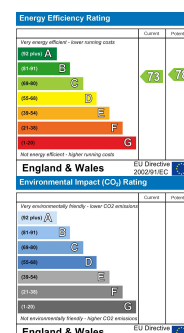
Open garden area. Allocated Parking Spaces.

Directions

01638 750241

info@clarkephilips.co.uk

www.clarkephilips.co.uk



MONEY LAUNDERING REGULATIONS 2003

Intending purchasers will be asked to produce identification and proof of financial status when an offer is received. We would ask for your co operation in order that there will be no delay in agreeing the sale.

THE PROPERTY MISDESCRIPTIONS ACT 1991

The Agent has not tested any apparatus, equipment, fixtures and fittings or services and so cannot verify that they are in working order or fit for the purpose. A Buyer is advised to obtain verification from their Solicitor or Surveyor. References to the Tenure of a Property are based on information supplied by the Seller. The Agent has not had sight of the title documents. A Buyer is advised to obtain verification from their Solicitor. You are advised to check the availability of this property before travelling any distance to view. We have taken every precaution to ensure that these details are accurate and not misleading. If there is any point which is of particular importance to you, please contact us and we will provide any information you require. This is advisable, particularly if you intend to travel some distance to view the property. The mention of any appliances and services within these details does not imply that they are in full and efficient working order. These particulars are in draft form awaiting Vendors confirmation of their accuracy. These details must therefore be taken as a guide only and approved details should be requested from the agents.